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1495  
10/30MEMORANDUM

October 30, 1969

TO: BOSTON REDEVELOPMENT AUTHORITY  
 FROM: JOHN D. WARNER, DIRECTOR  
 SUBJECT: BOARD OF APPEAL REFERRALS

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Re: Petition No. Z-1596 Hurley & Johnson  
 290 North Beacon St., Brighton

Petitioner seeks a forbidden use permit and five variances to erect a one story concrete addition to a warehouse and automotive supply facility in a Local Business (L-.5) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7	A wholesale business is forbidden in an L-.5 District.		
Sect. 15-1	Floor area ratio is excessive	0.5	0.84
Sect. 18-1	Front yard is insufficient	15 ft.	2 ft.
Sect. 19-1	Side yard is insufficient	10 ft.	0
Sect. 23-1	Off-street parking is insufficient	50 spaces	38 spaces
Sect. 24-2	Loading bay width is insufficient	10 ft.	8 ft.

The property, located at the intersection of North Beacon and Goodenough Streets, contains a one story warehouse and automotive supply facility. The proposed expansion is reasonable and would be compatible with other commercial and industrial uses existing in the area. The staff recommends that no vehicle openings be allowed at the rear of the proposed addition which would be adjacent to the Faneuil Public Housing Project. Recommend approval with proviso.

VOTED: That in connection with Petition No. Z-1596, brought by Hurley & Johnson, 290 North Beacon Street, Brighton, for a forbidden use permit and variances of excessive floor area ratio, insufficient front yard, side yard, off-street parking and loading bay width to erect a one story addition to a warehouse and automotive supply facility in a Local Business (L-.5) District, the Boston Redevelopment Authority recommends approval provided that no vehicle openings be allowed at the rear of the proposed addition which would be adjacent to the Faneuil Public Housing Project. The expansion would be compatible with surrounding commercial and industrial uses.



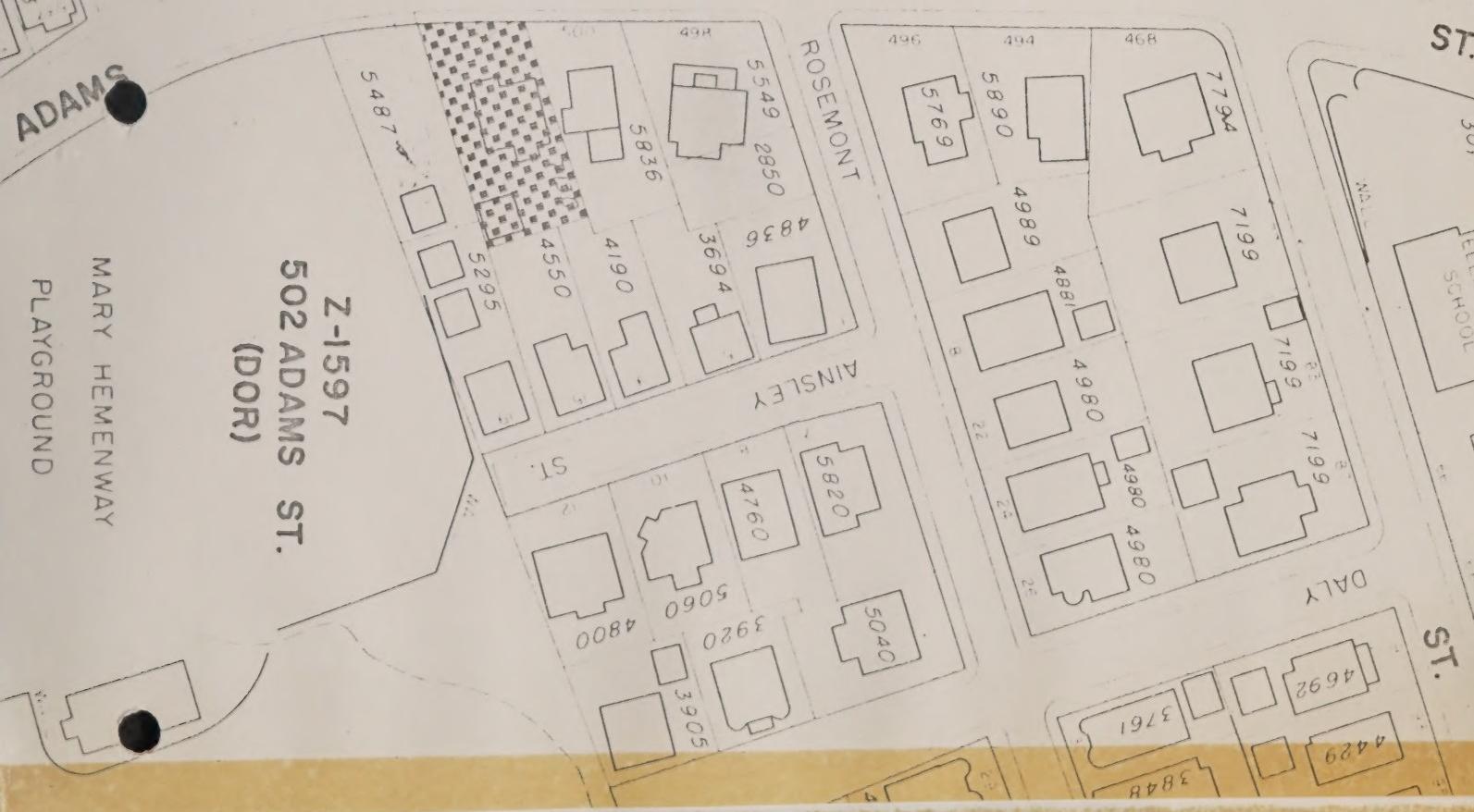
Re: Petition No. Z-1597  
Emile Lingertat  
502 Adams Street, Dorchester

Petitioner seeks a forbidden use permit and a variance for a change of occupancy from a two family dwelling to a two family dwelling and a beauty shop in a Residential (R-.5) District. The proposal would violate the code as follows:

	<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7 A beauty shop is forbidden in an R-.5 District.		
Sect. 14-2 Lot area for additional unit is insufficient.	3000sf/u	0

The property, located on Adams Street near the intersection of Rosemont Street, contains a two story frame dwelling. The petitioner would utilize a room of the first floor apartment for the facility. There is no objection to the use of the property for a proposed beauty shop. However, the staff recommends that the existing driveway accommodate off street parking and that any sign comply with the provisions of Section 11-1 of the code. Recommend approval with proviso.

VOTED: That in connection with Petition No. Z-1597, brought by Emile Lingertat, 502 Adams Street, Dorchester, for a forbidden use permit and a variance of insufficient lot area for additional unit for a change of occupancy from a two family dwelling to a two family dwelling and a beauty shop in a Residential (R-.5) District, the Boston Redevelopment Authority recommends approval provided that the existing driveway accommodate off-street parking and that any sign comply with the provisions of Section 11-1 of the code.



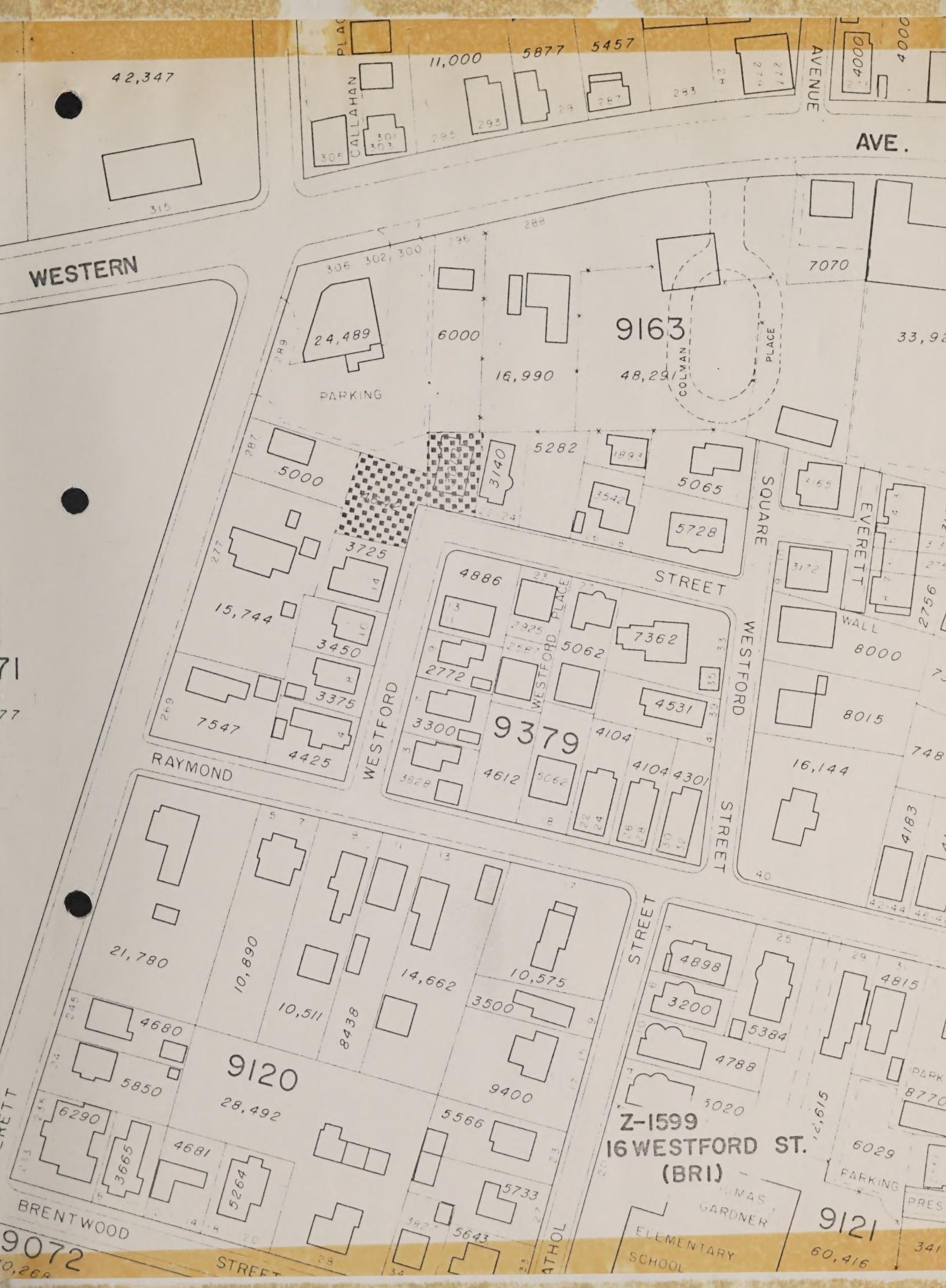
Re: Petition No. Z-1599  
Shodis Realty Trust  
16 Westford Street, Brighton

Petitioner seeks five variances to erect a three-story and basement eight unit apartment dwelling in a Residential (R-.8) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 10-1	Parking not allowed within 5 ft. of a side lot line		
Sect. 14-2	Lot area for additional dwelling unit is insufficient	1500sf/du	380sf/du
Sect. 15-1	Floor area ratio is excessive	0.8	0.99
Sect. 17-1	Usable open space is insufficient	800sf/du	450sf/du
Sect. 20-1	Rear yard is insufficient	40 ft.	10 ft.

The property, located on Westford Street near the intersection of Raymond Street, contains 7652 square feet of vacant land. The proposed apartment use would improve the neighborhood. However, the staff recommends that the number of apartments be limited to six with no basement apartments. The parking area should be provided with adequate landscape screening and the existing planting at the sides of the lot be allowed to remain. Recommend approval with proviso.

VOTED: That in connection with Petition No. Z-1599, brought by Shodis Realty Trust, 16 Westford Street, Brighton, for variances of parking not allowed within 5 feet of a side lot line, insufficient lot area for additional dwelling unit, usable open space, rear yard and excessive floor area ratio to erect a three story and basement eight unit apartment dwelling in a Residential (R-.8) District, the Boston Redevelopment Authority recommends approval provided that the number of apartments be limited to six with no basement apartments; that the parking area be provided with adequate landscaped screening; and, that the existing planting at the sides of the lot be allowed to remain.



Re: Petition No. Z-1600  
1000 Corporation  
1000 VFW Parkway, West Roxbury

Petitioner seeks a forbidden use permit and five variances to erect an eight story 288 unit apartment dwelling in a Single Family (S-.5) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7	A multi family dwelling is forbidden in an S-.5 District.		
Sect. 14-2	Lot area for additional dwelling unit is insufficient.	4000sf/du	383sf/du
Sect. 15-1	Floor area ratio is excessive	0.5	2.34
Sect. 16-1	Height of building is excessive.	2½ stories	8 stories
		35 ft.	69 ft.
Sect. 18-1	Front yard is insufficient.	25 ft.	10 ft.
Sect. 20-1	Rear yard is insufficient.	40 ft.	15 ft.

The property, located on VFW Parkway in the area of Capital Street, Park Lane Drive & Farragut Street and across from St. Joseph's Cemetery contains 116,125 square feet of vacant land. Capital Street is dead end and the property inclines sharply to VFW Parkway. The single family residential character of the neighborhood should not be destroyed by the proposed high density and badly designed development. Recommend denial.

VOTED: That in connection with Petition No. Z-1600, brought by 1000 Corporation, 1000 VFW Parkway, West Roxbury, for a forbidden use permit and variances of insufficient lot area for additional dwelling unit, front yard, rear yard, excessive floor area ratio and building height to erect an eight story 288 unit apartment dwelling in a Single Family (S-.5) District, the Boston Redevelopment Authority recommends denial. The single family residential character of the neighborhood should not be destroyed by the proposed high density and badly designed development.

ST. JOSEPH'S  
CEMETERY

1,057,700

Z-1600

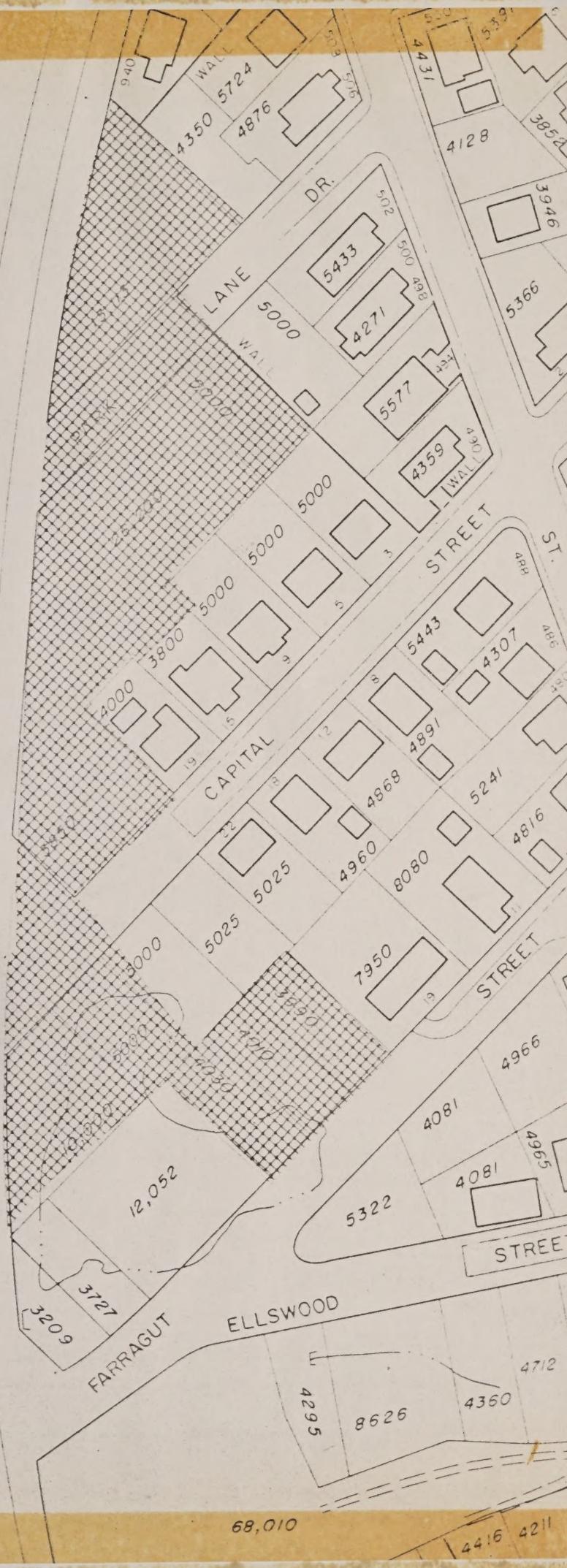
1000 V.F.W. PARKWAY  
(W R)

WARS

FOREIGN

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VETERANS



Re: Petition No. Z-1618  
 Peter A. Loukas  
 11 Grovenor Road, Jamaica Plain

Petitioner seeks a forbidden use permit and three variances for a change of occupancy from six apartments to eight apartments and six lodgers in a Residential (R-.8) and a Local Business (L-1) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7	Any dwelling converted for more families and not meeting the requirements of lot area, open space and off-street parking is forbidden in an R-.8 District.		
Sect. 14-2	Lot area for additional dwelling is insufficient	1500 sf/du	25 sf/du
Sect. 17-1	Usable open space is insufficient	800 sf/du	241 sf/du
Sect. 23-1	Off-street parking is insufficient	5 spaces	0

The property, located on Grovenor Road near the intersection of Centre Street, contains a three story brick structure. The proposed density is excessive and would be incompatible with the surrounding residential properties. The off-street parking deficiency would further aggravate the severe traffic problem presently existing in the neighborhood. Recommend denial.

VOTED: That in connection with Petition No. Z-1618, brought by Peter A. Loukas, 11 Grovenor Road, Jamaica Plain, for a forbidden use permit and variances because of an insufficient lot area for additional dwelling units, insufficient open space and off-street parking and for a change of occupancy from six apartments to eight apartments plus an additional six lodgers in a Residential (R-.8) and a Local Business (L-1) District, the Boston Redevelopment Authority recommends denial. The proposed density would be excessive and would be incompatible with the surrounding residential properties. The off-street parking deficiency would further aggravate the severe traffic problem presently existing in the neighborhood.

Z-1618  
II GROVENOR RD.  
(J.P.)

7496



Re: Petition No. Z-1620  
Albert Sergi  
31 Harvard Avenue, Allston

Petitioner seeks two conditional use permits and a variance for the outdoor sale and display of 25 used cars and to erect a two car repair shop garage in a General Business (B-1) District. The proposal would violate the code as follows:

		<u>Reqd.</u>	<u>Prop.</u>
Sect. 8-7	The outdoor sale and display of new or used cars is a conditional use in a B-1 District.		
Sect. 8-7	A repair shop garage is a conditional use in a B-1 District.		
Sect. 23	Off-street parking not provided	11 spaces	0

The property, located on Harvard Avenue between Brighton Avenue and Cambridge Street, contains a repair shop garage and office apparently erected without a permit. The petitioner would lease 7300 square feet at the front of the lot for the proposed operation. The plan as submitted is unacceptable. In addition to the lack of off-street parking, there would be no maneuvering space for the 25 cars proposed for display. The traffic flow on Harvard Avenue would be seriously affected by the proposal. Recommend denial.

VOTED: That in connection with Petition No. Z-1620, brought by Albert Sergi, 31 Harvard Avenue, Allston, for two conditional use permits and a variance of off-street parking not provided for the outdoor sale and display of 25 used cars and to erect a two car repair shop garage in a General Business (B-1) District, the Boston Redevelopment Authority recommends denial. The repair shop garage is existing. The plan as submitted is unacceptable. In addition to the lack of off-street parking, there would be no maneuvering space for the 25 cars proposed for display. The traffic flow on Harvard Avenue would be seriously affected by the proposal.

